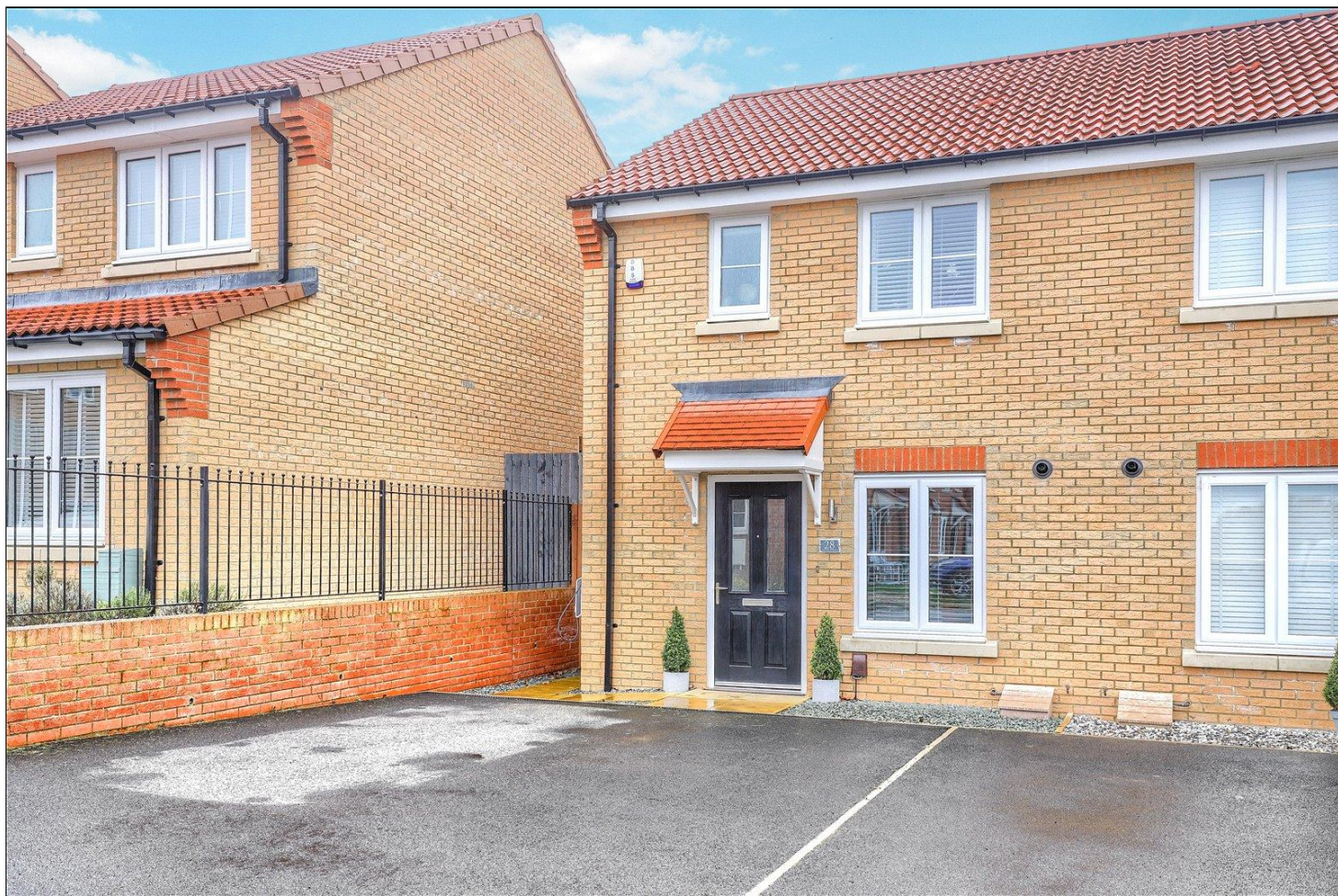


FIELDFARE GARDENS, GUISBOROUGH, TS14 8NB



- ▲ A Beautifully Presented Three Bedroom Semi Detached House
- ▲ Popular Modern Development Built by Taylor Wimpey
- ▲ Modern Fitted Kitchen with Integrated Appliances
- ▲ Off Road Parking to the Front Elevation
- ▲ Modern Family Bathroom
- ▲ Spacious Living/Dining Area
- ▲ Ground Floor WC
- ▲ Private Landscaped Entertaining Rear Garden with Astro Turf, Covered Gazebo & Wooden Storage Shed
- ▲ Cul-De-Sac Setting
- ▲ Early Viewing Advised

£195,000

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28 Fieldfare Gardens is a modern three bedroom semi-detached house built by Taylor Wimpey occupying a delightful plot within a cul-de-sac and boasting open views to the front elevation, allocated parking and a recently landscaped rear garden. Internally the accommodation briefly comprises an entrance hall, cloakroom/WC, modern fitted kitchen breakfast room, living/dining area, three first floor bedrooms and a modern bathroom. We are anticipating a large amount of interest in this property so please call our newly opened Guisborough Office to arrange your viewing appointment today.

GROUND FLOOR

ENTRANCE HALL

With tiled floor.

CLOAKROOM/WC

With low level WC, wash hand basin, tiled floor, and part tiled walls.

KITCHEN - 3.6m x 2.2m (11'10" x 7'3")

With a modern range of shaker design fitted wall and floor units, integrated oven and grill, gas hob with extractor over, fridge, freezer and washing machine. Tiled floor.

LOUNGE/DINER - 4.34m x 4.34m (max) (14'3" x 14'3" (max))

With large storage cupboard, tiled floor and French doors open to the landscaped private rear garden.

FIRST FLOOR

BEDROOM ONE - 4.14m x 2.34m (13'7" x 7'8")

BEDROOM TWO - 3.53m x 2.34m (11'7" x 7'8")

BEDROOM THREE - 3m x 1.88m (9'10" x 6'2")

TO VIEW: Tel: 01287 552280
10, Chaloner Street, Guisborough, TS14 6QD

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BATHROOM - 1.9m x 1.85m (6'3" x 6'1")

Modern white suite comprising bath with shower over and screen, low level WC, wash hand basin, and tiled walls and floor.

EXTERNALLY

PARKING & GARDEN - Externally the property is located within a quiet cul-de-sac in a modern popular development boasting open views to the front elevation with parking spaces and side gated access leading to the recently landscaped private rear garden with covered gazebo, wood storage shed, large patio and Astro turf.

AGENTS REF: - DP/LS/NUN230196/06042023

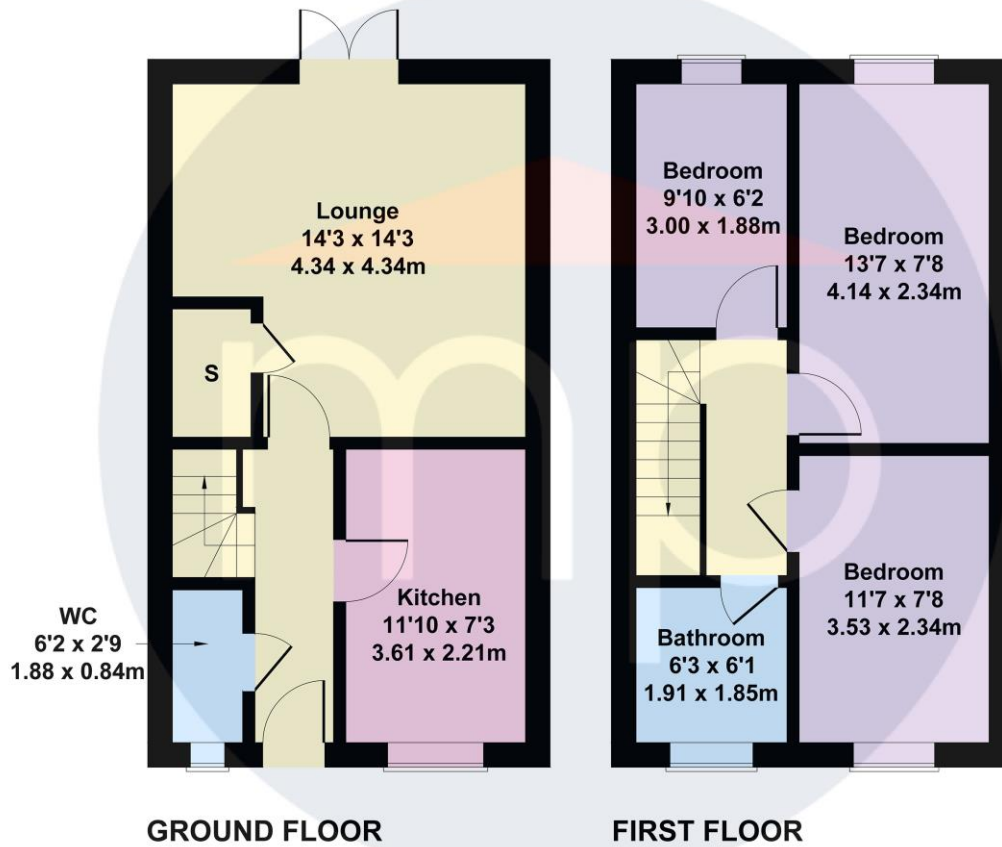
Council Tax Band: C **Tenure:** Freehold

TO VIEW: Contact our Guisborough office on
Tel: 01287 552280



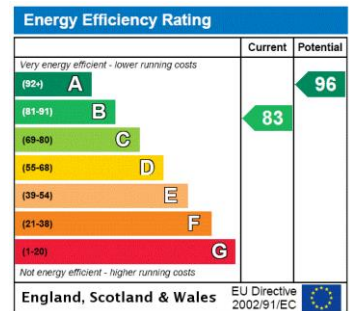
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Not to Scale. Produced by The Plan Portal 2022
For Illustrative Purposes Only.

The information provided about this property does not constitute or form part of an offer or contract, nor may it be regarded as representations. All interested parties must verify accuracy and your solicitor must verify tenure and lease information, fixtures and fittings and, where the property has been recently constructed, extended or converted, that planning/building regulation consents are in place. All dimensions are approximate and quoted for guidance only, as are floor plans which are not to scale, and their accuracy cannot be confirmed. Reference to appliances and/or services does not imply that they are necessarily in working order or fit for the purpose. We offer our clients an optional conveyancing service, through panel conveyancing firms, via MWU and we receive on average a referral fee of one hundred and thirty pounds, only on completion of the sale. If you do use this service, the referral fee is included within the amount that you will be quoted by our suppliers. All quotes will also provide details of referral fees payable.



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